

A Preservation Plan for the
Rogers House
Morgantown, West Virginia

Compiled and Written by
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Introduction

In January 1984, the Rogers House will become the new home of the University Christian Council. Because of the house's architectural significance and beauty, the Council decided to secure a preservation plan with the aid of graduate students from West Virginia University's Public History Option.

The preservation plan focuses on an early twentieth century restoration. The plan calls for interior and exterior evaluations and recommendations, a history of the house, the preparation of a National Register of Historic Places' nomination form, floor plans for both first and second floors, and site elevations of all four facades. The back of the house, both first and second floors, will remain as Mr. Laidley's residence and no interior recommendations on this section will be made.

Since the house will function primarily as an office building, several factors influenced the plans for its adaptive reuse. One is the type of restoration proposed. It will be true and accurate in generalities but not in specifics. In other words, it is not the intent of said plan to duplicate the early 1900's interior of the house. Rather, efforts are made to make a reasonable facsimile of the house as it may have looked in this time period. To do otherwise might not serve the best interests of the new tenants. Also, it must be kept in mind that the house's facilities must serve a variety of people and organizations and their subsequent activities. In short, the plan must reflect functionalism and practicality as well as a period restoration.

The building's prior function as a private residence and the character of the family who lived there are other considerations. The Rogers were an upper-middle-class family who enjoyed some of the finer amenities in life and who took pleasure in entertaining at home. Their tastes were fairly conservative, and they did not appear concerned with various trendy movements in interior design. Some attempt has been made to incorporate these factors into the preservation plan.

Yet another consideration in the plans' scope is that of finances. The University Christian Council is working with a limited budget --\$5,000 at the time of this writing. Some recommendations, therefore, have necessarily been forfeited. For example, it would be historically accurate to propose that the wrap-around porch along the west facade be rebuilt since that is how the house looked in 1905. But to do so would be very costly. Likewise, burlap would have been an appropriate wallcovering over the hallways Lincrusta-Walton dado, but it too would be prohibitive in cost. Due to this limited budget, recommendations will not be implemented all at once. The restoration work will be done in phases.

A final influential factor is the indefinite length of tenancy of the University Christian Council. At the present time the Council has a three-year lease on the property.

As a result of all those factors, compromises have been made. It is important to note, though, that in all possible cases, recommendations have been made within the historical context of the early 1900's.

This plan is also supplemented with taped interviews between Mr. Bradford Laidley and the researchers. There are two cassette tapes which comprise about two-and-one-half hours of conversation. The subjects discussed include a history of the house and its occupants and specific notes on interior and exterior treatments over the years.

History of the Rogers' House

In 1853 this property was owned by Edward Price, who then sold it to William H. Stagers on 2 May 1853. Some sources state that Stagers proceeded to build a house upon this property soon after acquiring it. There is also some evidence that the brick for the house was manufactured on the west side of the Monongahela River below a point opposite the present-day Walnut Street wharf in Morgantown. The latter fact is probably accurate whereas the former causes doubt because no mention of a house is made in the deed which conveyed the property from Stagers to Alpheus Wells on 2 March 1855. However, when Alpheus Wells sold the property to Thomas Rogers in February 1868, the deed does convey both the property and a house.

Thomas Rogers was a nephew of John Rogers, who was a prominent businessman in early Morgantown. John Rogers had extensive real estate holdings on which were once situated a paper mill, a gristmill and a sawmill. Much of what is now the City of Morgantown, specifically north of Decker's Creek and east of Willey Street, was owned by John Rogers and later passed on to Thomas Rogers, his nephew, and then in turn, to his son, George. Thomas Rogers was very active in the Episcopal Church and on page 700 of Earl Core's book, The Monongalia Story, it is stated that the "Trinity Parish, Protestant Episcopal Church, composed of Morgan, Grant, and Union Districts was organized February 12, 1876 at the house of Thomas Rogers." Thomas Rogers died in March of 1894.

George Rogers made his livelihood from these properties developing the areas now known as Woodburn and East Morgantown. His residential properties were hailed for their generous size, proximity to downtown, natural drainage, well-graded streets, gas and water. He was an active member of the Trinity Episcopal Church where he served as a trustee and vestryman. George Rogers married Louise Clemson Brown of Charles Town, West Virginia, on June 13, 1895. Her mother was a direct descendent of Samuel Washington, brother of George. George and his wife lived in Nebraska for two years but then moved back to the old house at 293 Willey Street. They had two daughters, Mary Washington and Louise Clemson.

In 1905-06 some major changes were made to the house. A frame addition was added to the back of the house and a frame bay window projection was put on the west facade. These additions were designed by Elmer F. Jacobs, noted architect of the Morgantown area. In his time, Jacobs built more than 400 of Morgantown's business and public buildings and private homes. A few years after this remodelling the Rogers took in a student boarder from the University--a very common practice since there were no dormitory facilities.

George Rogers died on December 31, 1920, and in a will dated August 29, 1904, left all of his property to his wife Louise. At this point daughter Mary Washington and her husband Bradford Laidley moved back to Morgantown from Pennsylvania and into the house at 293 Willey Street. The house was now occupied by Louise Rogers, widow, daughters Mary and Louise and their husbands Bradford Laidley and Harlan Selby, respectively. Mr. Laidley and Mr. Selby joined forces and opened a successful stationery store known as Laidley and Selby Office Equipment at 417 High Street, Morgantown. This business was in operation from 1923 to 1974.

On January 23, 1932 Louise C. Rogers, widow, conveyed her property to Laidley and Selby, Inc.. On July 13, 1934, the property passed from Laidley and Selby, Inc. to Laidley and Selby as private persons.

The home continued to function as a private residence until December 1978 when Bradford Laidley, as executor of the estate, gave his half of the property to the Loyalty Permanent Endowment Fund, a scholarship organization under the Alumni Association of West Virginia University. The other half was donated by Hale J. Posten, who had purchased his half of the house and property in November 1978 from H. Parker Selby, Jr. (nephew of Harlan Selby, Sr.) and Barbara H. Selby, his wife, of Vancouver, Washington; and Jane Selby Berni (neice of Harlan Selby, Sr.) and Michael F. Berni, her husband, of Eugene, Oregon. It was the hope of the donors that the house would become the new home of the Endowment Fund and the Alumni Association.

In the spring of 1983 the Loyalty Permanent Endowment Fund decided not to take up residence in the Rogers House. At this point, members of the University Christian Council began inquiring into the possibility of their organization moving into the house.

After several months of negotiations with Mr. Laidley and Mr. James McCartney, Secretary of the Loyalty Permanent Endowment Fund, an agreement was reached in October 1983 whereby the University Christian Council would take over occupancy on or about February 1, 1984.

The Council presently has a three-year lease on the property with a reassessment of said lease in eighteen months after occupancy.

Architectural Description
of the Rogers' House

This two-story brick and wood frame Classical Revival house was built sometime in the late 1850's in an area of Morgantown that was then undeveloped. An 1868 map clearly indicates the downtown area as being south of North Boundary Street (now Willey Street). The original section of the house is composed of English bond brick while the 1905-06 addition is constructed of wood. The Classical Revival character is revealed in its five-bay symmetrically designed south facade and its interior floor plan with a central hallway. In later years, elements of the Neo-Classical Revival design are evident in the pillared porch, the sidelights and transom surrounding the front doorway and in the fairly plain entablature around all four facades of the house. The foundation of the house is composed of rough-faced coursed ashlar stone. The gabled roof, originally slate, is now asphalt shingled.

The five-bay south facade is the main facade and features a porch with four sets of triple wooden, Tuscan columns. The columns rest on wooden bases which are supported by rough-faced ashlar stone bases. A 1906 photograph shows that the porch wrapped around the entire length of the original brick portion of the house on the west facade. The porch was enhanced by a wood balustrade on all sides and lattice work once enclosed the porch's foundation. The porch on the west facade and all balustrades were removed in the 1930's.

The entablature is wood and unadorned except for dentils on the cornice. This detail is present around the entire house, suggesting a deliberate attempt to tie in the frame addition to the original brick section. The flat, tin porch roof was once encircled with a wood balustrade, but it too was removed in the 1930's. The gable roof now has asphalt shingles. Two brick chimneys are visible from this facade, one on the west end and one on the east end. The windows are double-hung 1/1 with stone lintels and sills. Another significant feature of the south facade is the entranceway with its trabeated surrounds. The quartered oak and glass front door is highlighted by handsome sidelights and transom, with leaded, beveled glass interstices forming a delicate pattern.

The west facade has a variety of window styles. There are two casement windows situated on the study's west wall. Unlike traditional casement windows only one section of these windows open. There is also a bay window projection which scales both the first and second floors and these windows (three on each floor) are 1/1 double-hung. This bay was added during the remodeling in 1905-06. More detailed window treatment can be found in the gable windows which have segmental arches with keystoneed eyebrow-like hoods. Those windows located within the brick section have stone lintels and sills, while those in the frame addition have wooden ones. An exterior door, once leading onto the side porch, is now serviced by a makeshift wooden stoop. The frame section, including the bay area, is covered in clapboard siding, but the gable ends are done in imbricated shingles.

The north facade has two porches. One is a very small porch meant to provide coverage for a single doorway. Its outside corner is supported by a single wooden Tuscan column. There is also a balustrade along its west end. The other porch covers approximately one-half of the north facade and wraps around the east facade to the brick section. It is supported with wooden Tuscan columns that rest on concrete bases. Its floor is concrete as well. It never had a balustrade although there was one on its flat roof. Windows on the north facade are 1/1 double-hung with wooden sills and lintels. An interior brick chimney was added in the 1905-06 remodeling. Its style is in keeping with the house's other four end-wall chimneys.

The east facade is highlighted by a porch as described above. All windows are double-hung 1/1 windows. Those located in the frame addition have wood sills and lintels, while those in the brick section have stone ones. The two gable ends have segmental arched windows with keystoneed eyebrow-like hoods. The shingles in these areas are of an imbricated design.

Exterior Evaluation

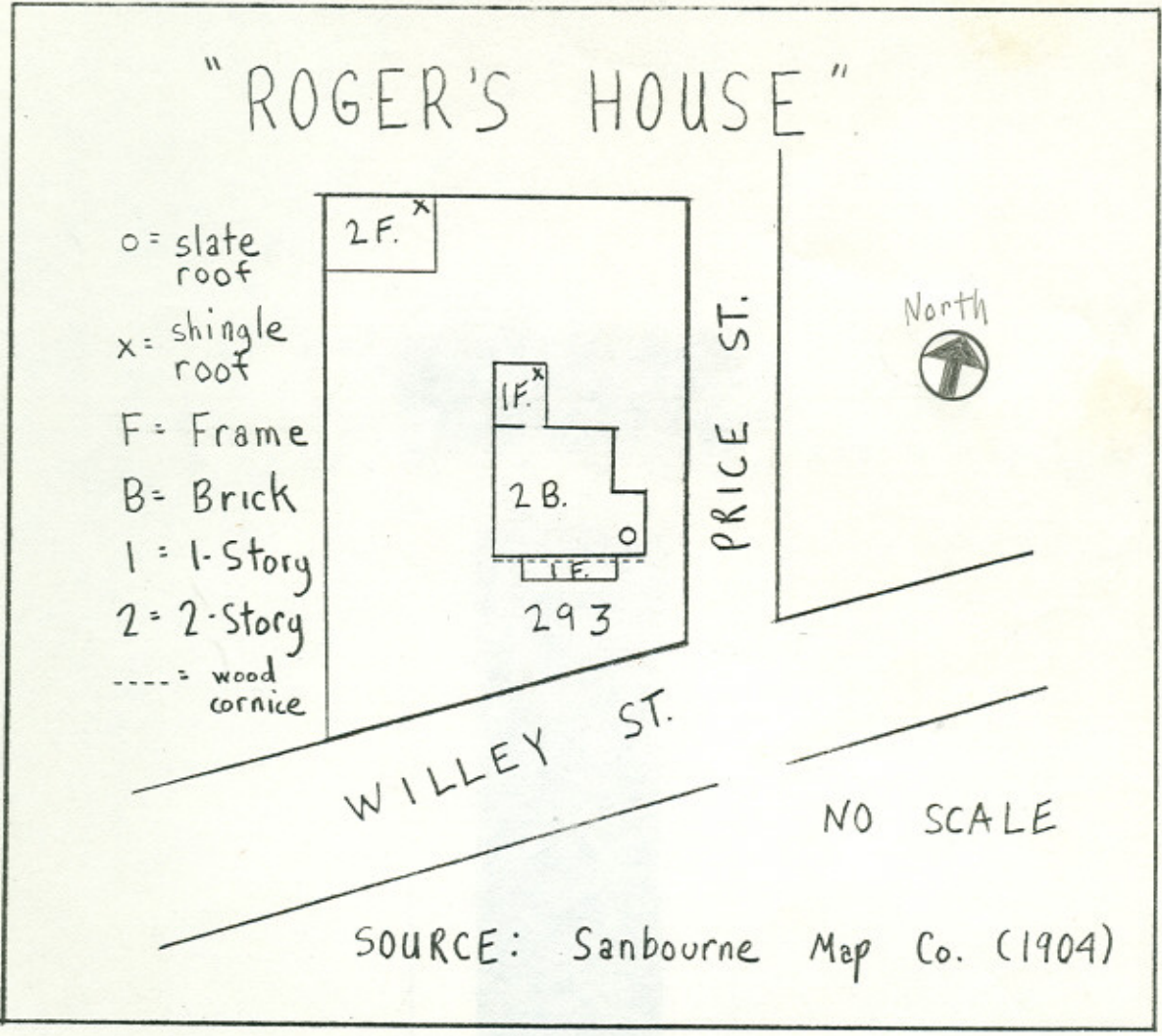
EXTERIOR EVALUATION

Purpose: 1) To give a brief history of the Rogers' house from its construction in 1857 to the present, noting the important structural and stylistic changes. 2) To describe the existing condition of the exterior of the house, identifying the major problem areas and recommending solutions. 3) To make recommendations for the landscaping of the grounds. Recommendations will not be made on such a specific level to be considered contractor's estimates; instead, they will be in the more general range. The recommendations are based on three considerations: 1) the safety of the occupants and visitors of the house; 2) the structural integrity of the house; and 3) the historical integrity of the house. Another factor that was considered was the fact that not all of the proposed actions could be undertaken in the immediate future, and therefore, some of them would have to be phased-in at a future date. With this in mind, it was thought useful to prioritize the recommendations, placing each in one of three categories: Priority 1 - those actions that are thought to be urgently necessary to preserve the extant structural and historical fabric and remove all safety hazards; Priority 2 - those actions which can be postponed, and which involve major reconstruction projects; Priority 3 - those actions which are to be undertaken at some unspecified date in the future, many of which could be more properly termed maintenance.

Scope: Unlike the interior evaluation which was confined to those areas retained by the UCC, the exterior evaluation will include the exterior of the entire house.

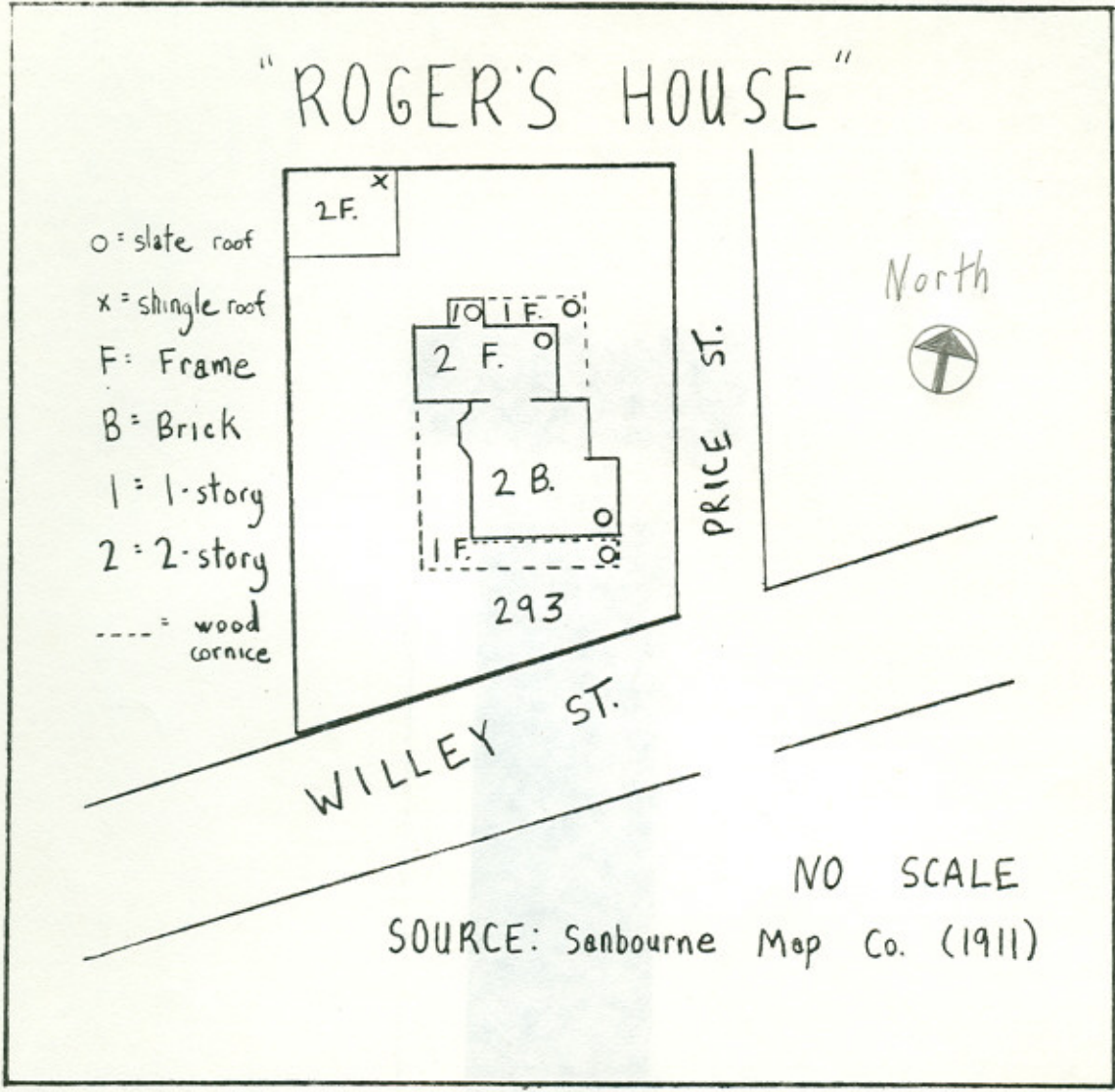
1. History

Although the history of the house was the subject of a prior section in this report, it was thought necessary to amplify this with the addition of more, in-depth information about the structural changes in the house from its construction in 1857 to the present. Besides several on-site inspections by this writer and Beverly Weaver, there were two other main sources for the preparation of this section: interviews with Brad Laidley, 7 November and 14 December, 1983; and the Sanborn Company Insurance Maps of 1899, 1904, 1906, 1911, and 1927.



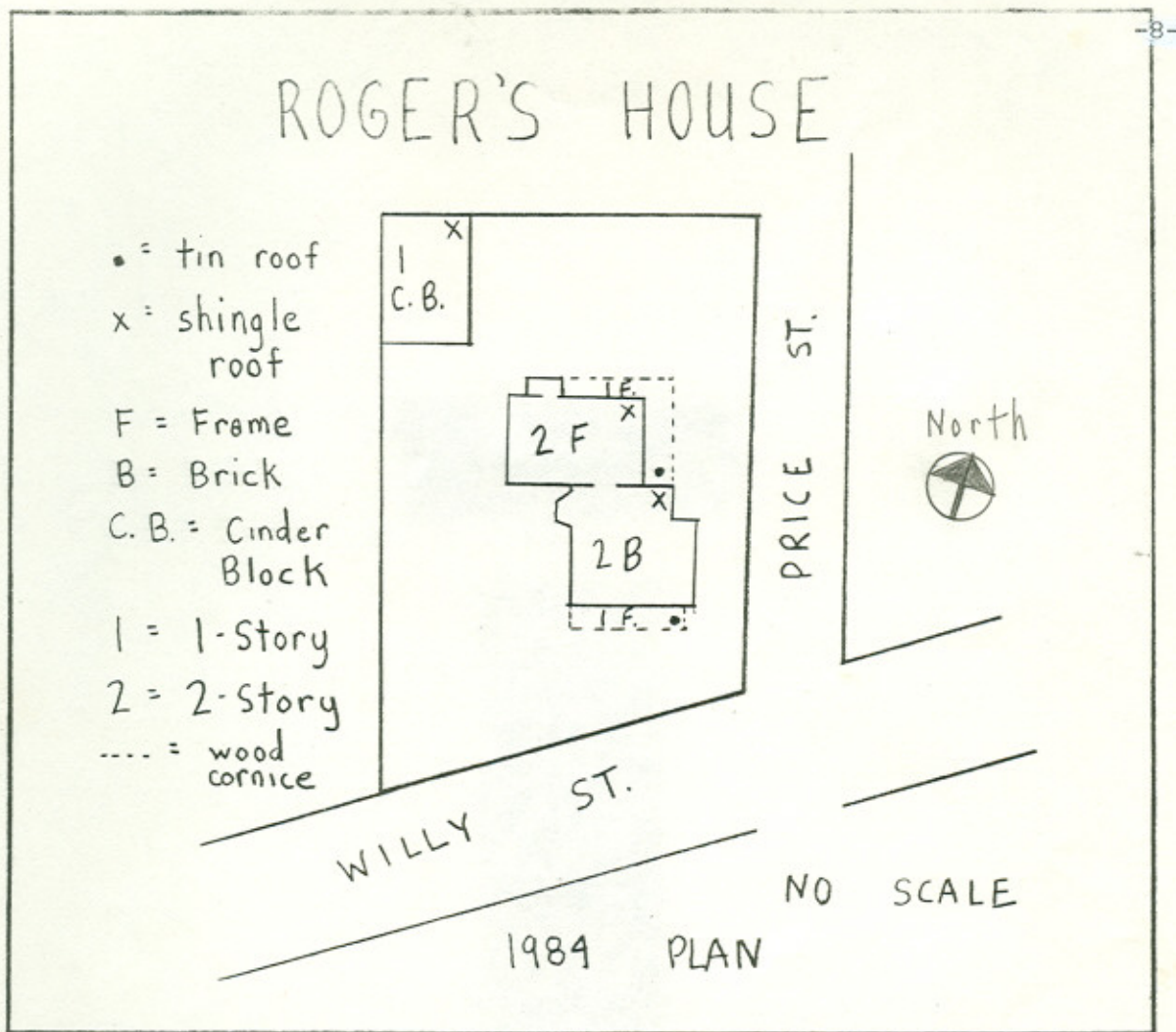
The history of the house can be conveniently broken down into two periods. The first period dates from the construction of the original brick house in 1857 until 1906. The second dates from the completion of the wooden, frame addition in 1906 until the present--1984.

We know little about the early history of the house. Most of what we do know comes from the Sanborn Maps of 1899, 1904, and 1906. The 1904 Map, which is identical with those of 1906 and 1899, is presented above. From it we can see that the 2-story brick house was adjoined by two 1-story frame structures. It is believed that these were porches, and that they were removed in the 1906 remodeling. The map also indicates that the brick house had a slate roof and that it was embellished with a wooden cornice on its front (south) facade. It is thought that the two-story frame structure behind the house was a stable and that it was removed sometime in the 1920's.



The 1911 map above shows the changes made in the house in the Elmer Jacobs' remodeling of 1906-07. The most notable changes are the addition of a two-story frame structure, the addition of two one-story, frame wrap-around porches, and the addition of a three-sided bay area on the west facade of the brick house. It is also notable that the roof of the entire structure, including the porches, was covered with slate.

From the site inspections of the house it has been determined that, besides the changes portrayed in the Sanborn maps, other alterations were made in the 1906-07 remodeling. The four chimneys in the brick section were substantially narrowed at their stacks and refinished above the roof line. Although the present roof line of the brick house is probably original, physical evidence shows that the gable ends



of the roof have been altered with the addition of arched gable windows and imbricated shingles. The front doorway was widened, and the present woodwork (sidelights transom and door) added. All of the exterior doors of the brick section probably date to this 1906-07 remodeling. The utilities of the house were modernized with the addition of electrical wiring and cast-iron plumbing. The interior, frame walls of both bathrooms in the brick section were probably constructed at this time as well.

The 1984 map above, an adaptation of the Sanborn Maps, shows that substantial changes were made in the porches of the house in the 1906-1984 period. The west side of the wrap-around front porch was removed, and a small, wooden, stoop porch substituted in its place. The back porch was extended westward to cover most of the north facade. The slate roof covering of both of these porches was removed, and they were re-covered with metal sheeting. According to Brad Laidley, the changes in the porches were made in the late 1930's. As noted earlier, the two-story frame

stable located behind the house was removed in the 1920's, and a cinder-block structure built in its place.

It is clear that most of the original 1857 brick house has been dramatically altered so that very little of its historic fabric can be readily seen today. The 1906-07 Neo-Classical remodeling was so pervasive that only the brick walls and the roofline of the brick section remained unchanged. Although there have been changes made in the period after 1906, these have not resulted in any significant departure, either structurally or stylistically, from the 1906-07 remodeling.

2. Existing Conditions and Recommendations

A. Roofs

The overall condition of the roof coverings of the main house is good in that they are shedding water well. However, those parts of the roofing system responsible for the drainage of the water away from the house--the gutters, eaves and downspouts--are not doing their job properly. As a result, water has leaked from the gutters into the eaves underneath, causing their decay. This is noticeable on all four facades of the house, but the damage has been more severe on the north facade.

Recommendation (Priority No. 1) - The gutters should be cleaned, thoroughly sealed with caulk, and coated with a protective finish.

Recommendation (Priority No. 1) - The eaves should be reconstructed wherever necessary (especially the north facade), scraped and painted.

Recommendation (Priority No. 2) - If it is deemed necessary to insulate the attic in the future, soffit vents should be fitted into the eaves.

Recommendation (Priority No. 3) - The roof should be inspected annually, paying particular attention to the valleys and the metal flashing around the chimneys and cornices.

The downspouts are in good condition and require no corrective action.

The components of the two porch roofs--the metal coverings and the gutters and downspouts--are in good condition, with one notable exception: the back porch roof is not draining properly because the failure of the westernmost support column has

allowed water to pool on this side. This section of the back porch, unlike the rest, is totally constructed of wood. Structurally, the porch has failed, and its wooden members are in an advanced state of decay.

Recommendation (Priority No. 1) - In order to maintain proper drainage on the back porch, the support column should be reconstructed and placed on a solid foundation.

Recommendation (Priority No. 3) - The metal surface of both the front and back porch roofs should be inspected annually and re-coated with an aluminum or asphalt-based sealant when necessary.

B. Chimneys

The condition of the five chimneys is good, with the exception of the one on the west facade of the brick house, which was damaged by a 1983 storm. This storm blew two trees onto this side of the house and knocked loose several of the top courses of this chimney stack. It is possible that the force of the falling trees could have seriously damaged the chimney below the roof, as well. An inspection of this chimney showed that its stone foundation was stable, but there was about a $\frac{1}{2}$ inch vertical crack in the brickwork on the first floor and a slight declension of the chimney from its vertical plane on the second floor. It is not known whether these problems were caused by the force of the falling trees or by settling prior to the storm. As mentioned previously, this is one of the chimneys that was narrowed, and therefore weakened, in the Jacobs' remodeling of 1906-07.

Recommendation (Priority 1) - The top courses of the damaged chimney should be reconstructed. (This work was done in the fall of 1983.)

Recommendation (Priority 1) - The visible brick surfaces of all of the chimneys should be scraped with a non-ferrous metal brush to remove all loose paint chips, and painted.

Recommendation (Priority 3) - The damaged chimney should be examined regularly for any signs of structural deterioration.

C. Porches

This is one of the major problem areas, and all three porches require corrective action.

The front porch is constructed of wood, with an oak framework and a yellow pine tongue-in-groove floor. The metal-covered porch roof is supported by four sets of wooden triple, Tuscan columns. The front porch, with its stylish doorway and the Tuscan columns, is responsible, to a large extent, for the Neo-Classical "look" of the Roger's House. However, this porch has some serious structural problems. It was found to have a faulty foundation on the west side in the area where it joins the brick wall of the main house. This has caused the porch floor on this side to sag, thus allowing water to pool, and causing the decay of the wooden floor members. Also on this side, one of the Tuscan support columns has been severely damaged. There are also areas of wood rot located all along the perimeter of the porch, including the bases of all of the Tuscan columns. However, the shafts of all of the columns are in good condition. All of the molding strips along the perimeter of the porch underlying the overhang of the porch floor are rotted or missing. The wrought iron handrail along the front steps is only anchored to the floorboards and is therefore unstable.

Another problem that should be considered in conjunction with the front porch is the broken lintel above the front doorway. Though it is not thought that this lintel will fail in the immediate future, the continued pressure from the walls above upon the wooden-framed transom could further distort the woodwork and cause the glass to break.

Recommendation (Priority 1) - The foundation of the porch on the west side should be reconstructed. (This work was completed in the fall of 1983.)

Recommendation (Priority 1) - The severely damaged Tuscan column should be reconstructed. (This was also completed in the fall of 1983.)

Recommendation (Priority 1) - The bases of the damaged Tuscan columns, and the other areas of wood rot along the perimeter of the porch, should be reconstructed by 1) digging out all of the rotten wood, 2) treating the remaining wood with penta or other wood preservative, 3) filling the resultant cavity with putty and sanding it to a smooth surface, 4) painting the finished surface.

Recommendation (Priority 1) - The molding strips underlying the floor board overhang, especially in the area in front of the steps, should be replaced.

Recommendation (Priority 1) - The wrought iron handrail should be solidly anchored into the framework of the porch floor.

Recommendation (Priority 1) - All wooden surfaces of the porch should be scraped and painted.

Recommendation (Priority 2) - In the future, perhaps in two to five years, several corrective actions should be undertaken, all of which could best be undertaken at the same time. First, the yellow pine floorboards should be removed and replaced. With the porch deck off, access can be gained to the foundation walls underneath the front doorway (see section on Walls), and they can be reconstructed. Also, the bases of the Tuscan columns can be replaced with treated wood. The stone lintel above the front doorway could be replaced with a reinforced concrete one at this time, as well.

Recommendation (Priority 3) - The lintel above the front doorway should be inspected regularly by measuring the width of the crack in both warm and cold weather.

A crack gauge can be obtained through Emory Kemp, Professor at WVU.

The back porch is divided into two parts. The main section, which wraps around both the north and east facades of the frame addition of the house, has a poured concrete floor at grade level. The five Tuscan columns supporting the roof of the porch are similar to those on the front, except that their bases have been reconstructed with concrete. The concrete base of the column on the north-eastern corner of the porch is cracked and falling apart. The second section of the back porch is separated from the main section by a one-story, frame pantry

and it is constructed solely of wood. This section of the back porch is in an advanced state of decay.

Recommendation (Priority 1) - The broken concrete base of the Tuscan column should be replaced with treated wood.

Recommendation (Priority 1) - The wooden section of the porch should be reconstructed. The floorboards, steps, and the base of the column should be replaced, but the bannister and the part of the column above the base, can be re-used.

Recommendation (Priority 1) - The wooden surfaces of the entire back porch should be scraped and painted.

The small, stoop porch on the west facade is framed with wood, with a stone foundation and a plywood deck. Due to the poor drainage of this deck, the plywood surface has begun to rot, and this has caused the surface to be extremely slick in wet weather.

Recommendation (Priority 1) - Though this porch is not part of the 1906 historic fabric, it should be retained because of its importance as a fire escape for Brad Laidley's apartment. The slick, plywood surface should be replaced with a non-skid, decay-resistant one--a deck of treated 2" by 6" boards with $\frac{1}{4}$ inch cracks between them for drainage would be suitable.

C. Walls

Inspection of the ashlar stone foundation showed that some of the mortar joints were deficient and that they were probably allowing water to infiltrate into the structure. Also, in the area under the front porch, directly under the front doorway, there is a break in the foundation wall about two feet in length. At one time this was probably a window opening. When the front doorway was remodeled in 1906, this break was filled in with rough stone. However, it was not filled properly, as it provides no support for the walls directly above it. This could be one explanation for the sagging of the wall and the broken lintel directly above.

Recommendation (Priority 2) - The foundation under the front doorway should be properly reconstructed. (See section on Porches.)

Recommendation (Priority 1) - The foundation walls should be re-pointed where necessary with a lime-sand mixture.

By far, the greatest problems with the exterior walls of the house are in the frame addition where the wooden clapboard siding and molding strips have been subjected to the deteriorating forces of the weather. Here, the infiltration of water has caused the decay of much of the woodwork. This problem is particularly severe on the west facade. At the bay window area, the moldings and sills around the windows are doughy and decaying. The same holds true for the window moldings and trim on the west facade and on the westernmost part of the north facade where the woodwork is unprotected by the back porch. Other problem areas are the outside corners of the frame section of the west facade where the corner molding has rotted and allowed water to infiltrate into the unprotected ends of the clapboard siding underneath, causing their rot as well. The brick walls of the south, west and east facades are in good condition.

Recommendation (Priority 1) - The rotted moldings, clapboards, and other wooden members of the west and north facade should be replaced where necessary and reconstructed whenever possible. The procedure outlined for the reconstruction of the wooden bases of the Tuscan columns on the front porch should be followed.

Recommendation (Priority 1) - The wooden walls of all facades should be scraped and painted.

Recommendation (Priority 1) - The brick walls should be brushed with a non-ferrous metal wire brush in order to dispose loose paint flakes, and then painted.

D. Windows and Doors

The condition of all of the 1/1 window sash is good. However, the storm windows that were found in place were in generally poor condition. Many of the wooden ones showed signs of rot and had been patched. The aluminum storm windows, though in much better condition, were mounted onto the window openings in such a way as to prohibit their removal. On some windows, exterior screens were found instead of storm windows.

On several window openings and over one doorway, metal awnings have been put up. The lack of uniformity and historical sensitivity in the existing window treatment is a major concern. It is also realized that the existing window treatments are providing some protection from the extremes of summer heat and winter cold, and that complete replacements for all of the window components would be very expensive.

Recommendation (Priority 1) - All exterior window coverings, including awnings, should be removed, and the window openings scraped and painted.

Recommendation (Priority 1) - The 1/1 double-hung windows should be fixed so that they open and close in the summer months, and existing screens affixed to those that are regularly opened.

Recommendation (Priority 3) - The wooden storm windows should be repaired whenever possible, and re-used in the winter season. The aluminum storm windows should be re-used as well, but they should not be mounted as they are now.

Recommendation (Priority 1) - If it is thought that the metal awnings could be re-used to good effect, they should be put up on the west and north facades of the frame addition. This would provide protection for all of the windows of this section, and would give the house some degree of order and uniformity.

The exterior doors are in good condition and require only minimal corrective action. The front doorway has a crack between the wooden sidelights and the brick wall which is allowing air to infiltrate into the house. All of the main exterior doors are showing signs of drying and are cracked and dirty. Also, the screen door on the front doorway is damaged.

Recommendation (Priority 1) - The crack between the wooden sidelights and the brick wall should be caulked.

Recommendation (Priority 1) - All of the main wooden doors should be thoroughly cleaned, and treated with linseed oil or other oil-based preservative.

Recommendation (Priority 1) - The front screen door should be re-covered with hardware cloth.

3. Recommendations for Landscaping

The two main considerations behind these landscaping recommendations are that the plantings provide an aesthetically pleasing environment for residents and visitors to the house, and that they act as a barrier to street dirt and noise. Listed below are the recommended actions in order of their priority.

1. Prune the pink dogwoods on the west side of the house. These were damaged by the storm in 1983, and need to have their damaged branches cut-off in order to prevent insect or disease injury.
2. Trim all foundation plantings and vines so that there is a 12" to 18" air space between them and the house. This will be necessary in order to paint the house. It is important that the air space be maintained at all times since the greenery allows moisture to build up along the walls of the house, causing rot and decay.
3. Trim and maintain the hedges along the perimeter of the property. In order to maintain an adequate barrier between the property and Price Street and to prevent trespass through the hedges, it is also recommended that the hedges along this side be fertilized. This work could be done in spring or early summer.
4. Plant annuals in the flower beds on the east and south sides of the house. Peonies were a favorite of the Rogers in these beds. With all of the exterior work going on this summer, perhaps this could best wait until next spring.
5. Plant deciduous trees on the west side of the house in the areas where the Koster Spruce once were. This would provide an additional buffer from street noise and pollution, provide shade in summer months, and allow the sun to warm the house in the winter time. This could best be done in the fall.

EVALUATION OF THE BASEMENT AND ATTIC

The basement is divided into two sections. The oldest section, built when the house was first constructed in 1857, underlies the brick section of the house. It has stone walls and floors with a plastered ceiling atop wooden lathe. It is unheated, and has two small casement windows located on the south facade under the front porch. Both of these windows are not air-tight. The plaster-lathe ceiling of this section is in bad shape with several holes and loose plaster allowing the infiltration of cold air into the living space above. The door opening into the newer section of the basement cannot be fully opened.

The modern section of the basement underlies the frame addition of the house. It has a concrete floor, stone walls, and an unfinished roof. This section contains an inoperable bathroom, as well as a washing machine and sink. It also contains the main utilities of the house--furnace, two hot water tanks, gas meter, and electric distribution box. Access to the basement can be gained from two stairways: one leads from the exterior of the north facade down through a wooden framed structure on the westward side of the pantry, and the other leads from the interior of the frame section into the basement. The stairway leading to the exterior of the house has doors on both the upper and lower levels. The interior stairway features a wooden handrail that was once part of the stairway in the 1857 brick house before it was remodeled in 1906-07.

Between the two sections of the basement is an area that was not dug out to the same level as the rest. Parts of this area were dug out in order to provide crawl space so the utility lines could be routed through. The existence of this area makes insulation of the basement area difficult, if not impossible,

Recommendation (Priority 2) - The casement windows of the older section of basement should be weather-stripped and made air tight.

Recommendation (Priority 2) - The ceiling of this older section should be re-plastered.

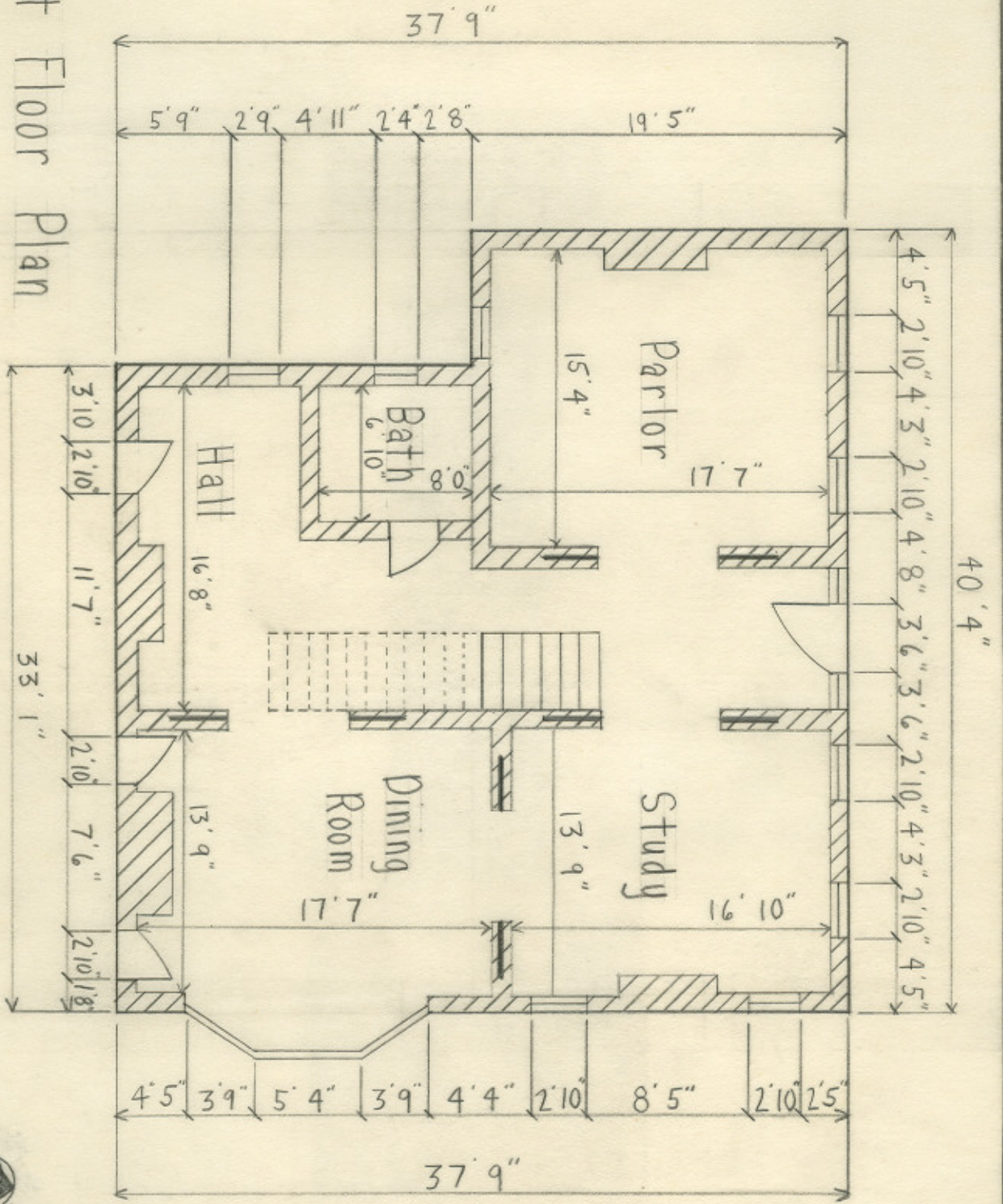
Recommendation (Priority 2) - The door opening into the newer section of the basement should be made fully operable.

Recommendation (Priority 1) - The exterior door on the north facade leading to the basement should be secured from the interior so that it cannot be opened from the exterior.

The attic was inspected on two occasions and found to be dry and sound. However, the ventilation system--a mounted fan directed toward one of the gable windows--appears rudimentary. This fan was not tested. The attic has no insulation.

Recommendation (Priority 2) - The entire attic should be insulated. Loose insulation could be blown under the floorboards and fiber-glass strips could be used in the other areas.

First Floor Plan



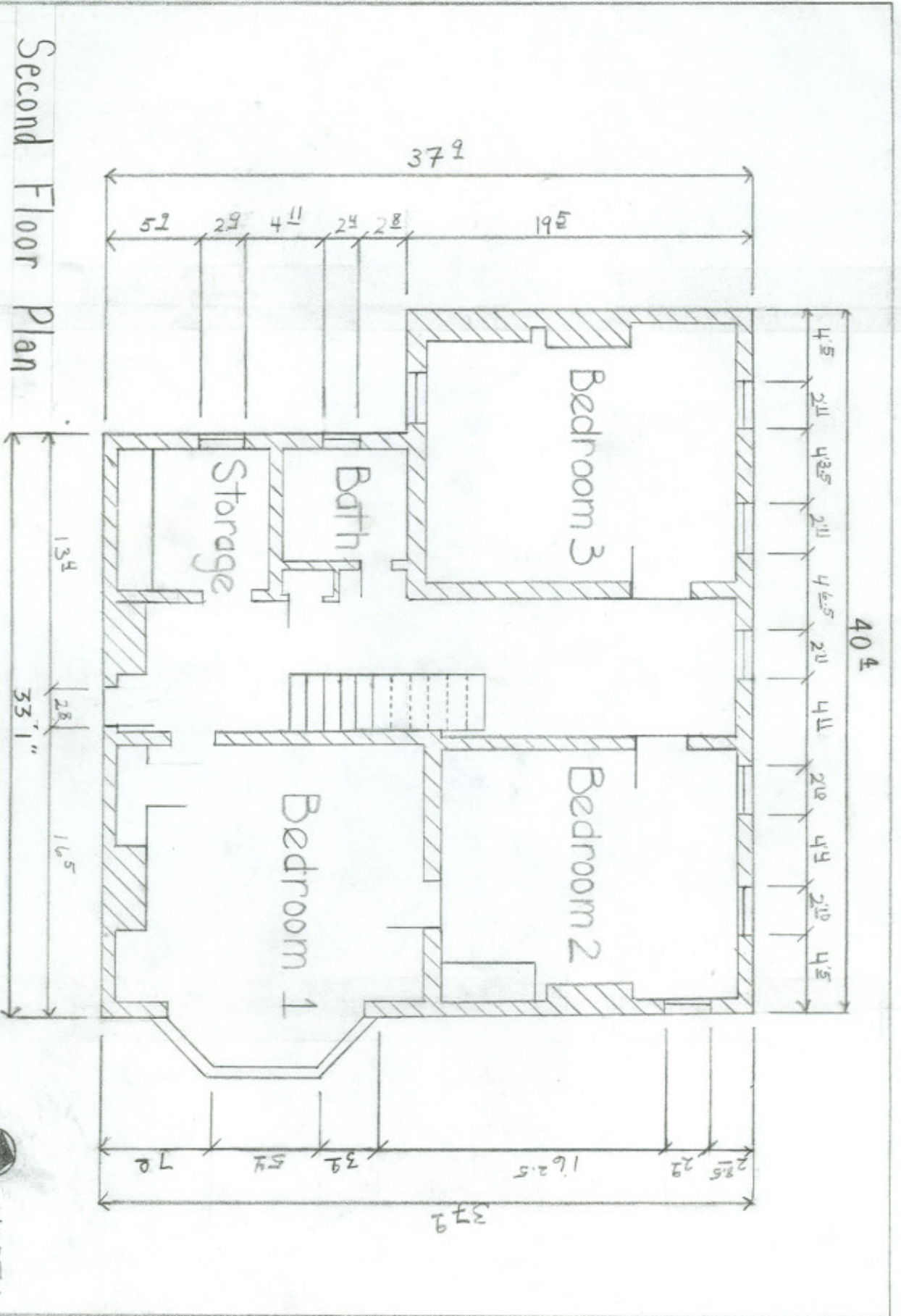
ROGERS' HOUSE

Scale: $\frac{1}{8}$ " = 1' 0"

M. E. Workman



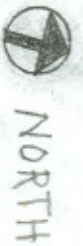
NORTH



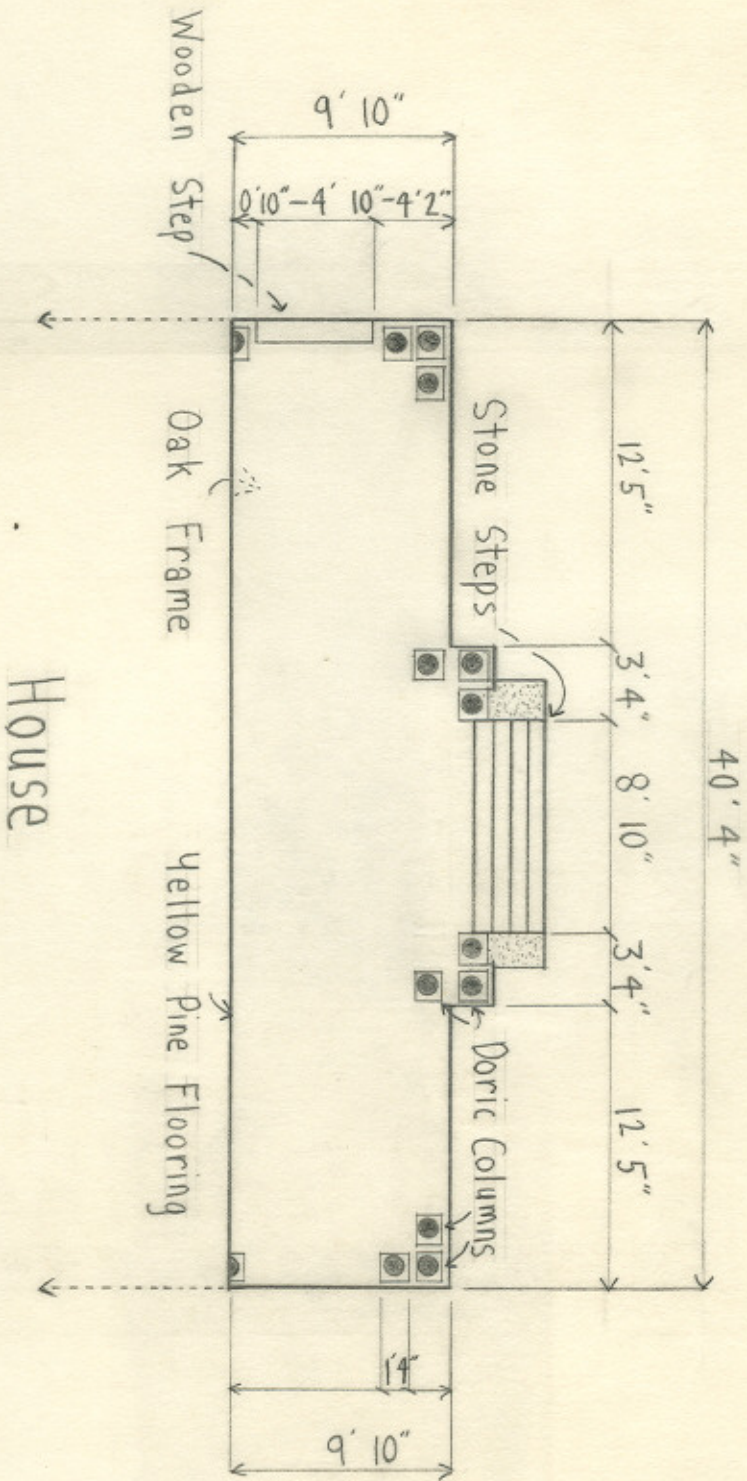
Roger's House

Scale
Jan 25, 1984

D.L. Gump



FRONT PORCH PLAN



ROGERS' HOUSE

Scale: $\frac{1}{8}$ " = 1' 0"

Michael Workman



NORTH

Interior Description

The interior is in excellent condition and has undergone little change. The only major changes were the repositioning of the main staircase and the addition of two bathrooms. The staircase now sits further back from the front entrance than it did originally. This change caused the removal of the basement staircase in the frame addition. Evidence of this alteration is found in the balustrade and handrail of the basement stairs--they are carved of mahogany. The first floor hallway features a Lincrusta-Walton dado and an original early electric overhead light.

All of the rooms have ornately carved fireplace mantels. The dining room mantel is especially ornate as it is constructed of mahogany and features ionic pillars and a beveled, leaded glass cupboard with a fleur-de-lis design. The dining room is also highlighted by a five foot wainscoting of paneled mahogany. The rest of the woodwork in the house (except the parlor) is all quartered oak and in excellent condition. There are solid sliding wood doors between all the main floor rooms and hallway.

Other significant details include elaborate brass escutcheons, an original gas/electric chandelier in the parlor, built-in oak bookshelves in the study and wood carvings in the floral/leaf design on the staircase.

Like the first floor, the second floor has fireplaces in all the rooms and the hallway. The wood is all quartered oak and unpainted. Two early twentieth century gas/electric fixtures hang in the hallway.

There is presently one outbuilding which sits on the northwest corner of the property. It is a one-story three-bay garage constructed of rough-faced concrete block and shingles roof. As late as 1921 the Sanborn Insurance Maps indicate the structure was a two-story frame stable. In 1927, though, the Sanborn Maps indicate the change to a one-story concrete-block garage.

The house is bounded by Willey Street on the south; Alpha Phi sorority, West Virginia University on the west; a West Virginia University parking lot on the north, and Price Street on the east.

Interior Evaluation

Interior Evaluation

First Floor

Parlor

This room is in good condition overall. The ceiling needs to be patched and repainted. There are some water stains on the wall in the northeast corner. Also the molding along the ceiling of the north wall is not mitered properly. In one place along this wall it has bulged outward.

The fireplace mantle is in excellent shape. There is no evidence of chips or cracks. All of the windows have their brass sash pulls and locks, but there are no wooden drapery rods, brackets or rings.

There are some green paint spots on the floor near the sliding door. Also the sliding doors do not work very smoothly and there is a chip in the wood on the door facing the hallway.

The Study

The walls are in good condition in this room, except for the area of the mantle. There is a large crack here and this needs to be investigated for structural soundness. The ceiling needs to be plastered in several areas.

The glass-enclosed bookshelves are intact, including the brass locks and keys, and no panes are broken. The brass window sash pulls and the window locks are present on the two double-hung windows. Original wood drapery rods and rings are mounted on the double-hung windows.

The fireplace mantle is unmarred, as is most of the flooring. There is a pane of glass cracked in the casement window to the left of the fireplace.

The Dining Room

The walls and wainscoting are in excellent condition in this room. The ceiling, though, needs to be scraped and plastered in spots.

There is some wood damage on the east end of the fireplace mantle, and there is a tiny piece of molding missing around the last, left-hand side glass window.

All window locks and brass sash pulls are intact.

The Hallway

The northeast corner walls have been damaged by water and need to be replastered. As a result of this, the Lincrusta-Walton dado must be repaired. Also the wallcovering behind the front gas heater needs to be fixed. Otherwise the walls are in good shape.

There is a weak floorboard in the west side of the fireplace and a non-skid mat in front of the bathroom door must be removed.

At the top of the left fireplace column a part of the raised leaf ornamentation is chipped, and the pieces are sitting on the mantle top. There is a similar chip missing on the east column. The mirror needs to be cleaned or possibly replaced or repaired.

The molding which tops the wainscoting is chipped in several places.

The window has all its locks and brass sash pulls. There are wood brackets on the window.

The exposed gas pipes should either be removed or cleaned and polished, replacing the pipe collars to their correct position.

The carved leaf ornamentation on the stairway is intact and the corner beads are unmarred.

The Bathroom

The walls are in need of repair. Large pieces of paint are flaking off the walls. There are also numerous cracks in the tile dado.

The frosted window has no wood curtain rod, but the brass sash pulls and lock are intact.

The metal scrollwork around the sink could be repainted.

If the small heater is not operational, it should be removed.

Interior Recommendations

General Recommendations

The first floor can be referred to as the public area of the house. It is here that visitors and guests were received and entertained. For this reason, more elaborate and expensive interior treatments were used. This preservation plan has tried to reflect this tradition. However, because the main body of the Rogers House will no longer be used as a residence, but rather as office facilities, the rooms have been refurbished to complement and blend with each other instead of standing as entities within themselves.

Usually considered the private sector of the house, the second floor consists of bedroom space. Like many homes of this time period, this space did not receive quite the same amount of detail and expense as the first floor rooms. Wall treatments are less expensive and less formal. Fireplace mantles are impressive but not extraordinarily ornate. Lighting fixtures are plainer. The hallway is void of wainscoting.

Most of these factors have been incorporated into the present preservation plan. There are a few, though, such as the size of wallcovering patterns, which run against tradition. Historically, late Victorian bedroom decor demonstrated a penchant for large patterns or whimsical wallpaper. This plan calls for small patterned papers. The rationale for choosing smaller printed papers rests on the rooms' intended use as offices. Large patterns would have been jarring to the new occupants. The colors chosen, shades of blue and brown, are a deliberate attempt to harmonize and blend the first and second floors as well as reflect the conservatism of the Rogers family.

Brass Hardware

We recommend that brass lighting fixtures, door knobs, escutcheons, transom pulls, window sash and bathroom faucets be thoroughly cleaned and polished. There are several methods of doing this and several different commercial products to aid the process. Some experts recommend the use of tung oil while others suggest a solution of vinegar and salt water. Old-House Journal has two good articles on the subject which could be helpful to the new tenants. The articles dated October 1973 and March 1977 may be found in Appendix A.

Ceilings

It is suggested that the ceilings on the first and second floors (excluding the first floor bathroom) be stripped of paper if it is present, plastered where needed and repainted an antique white. The bathroom ceiling will be painted white.

No attempt will be made to repaper the ceilings as this is too costly an item.

Doors

The doors in the parlor, study, and dining room are all sliding wall doors. We recommend that these doors be tested for tractability and fixed where needed. There is an excellent article on this subject in the March 1977 issue of Old House Journal which may be found in Appendix B.

The only other interior door that will be used is the bathroom door and it functions properly.

Fire Prevention

According to Morgantown Fire Chief Jim Nabors, the following fire prevention measure need to be adopted for the Rogers House:

- 1) A ceiling mounted smoke detector needs to be placed at the front of the main stairway, at the top of the main stairway and at the head of the basement stairs which are located in Mr. Laidley's apartment.
- 2) A 10 lb. ABC fire extinguisher should be placed in an accessible area in both the downstairs and upstairs hallway.
- 3) Floor coverings need to be flame retardant and must come under a Class B rating. This rating must have a flame spread of 75 and a smoke development factor of 150.
- 4) Draperies and curtains should be Class C in business offices and no less than Class B in the exit ways.
- 5) No fire escape needs to be installed on the outside of the building.

Floors and Floor Coverings

The floors in the Rogers House are not original but do date back to the early 1900's. They are made of hardwoods and the wood is in excellent condition. Wear and tear, though, have created the need to refinish the floors. First, however, they should be cleaned. We recommend that the floor be vacuumed (preferably with a brush attachment) to pick up loose grit and dirt. After this, a mild solution of soap and water can be used to remove more ingrained dirt. Be sure to use a bristle brush. Do not allow water to stand on the floor and rinse off all soap.

If there are remains of varnish or paint, a water soluble paint remover can be used. This should be tested out in an inconspicuous spot and done in small areas at a time. This procedure should be followed by another cleaning with a non-caustic agent. At this point, tenants must decide if they want a modern finish or an antique one. Both have their advantages and disadvantages. For a more detailed account of cleaning and refinishing floor, see the February 1981 or May 1981 Old House Journal. See Appendix C .

Because occupancy will be in the winter months, it might be best to do a surface cleaning of the floors, but hold off further processes until warmer weather.

It is important to note that the rugs which are recommended are all flame retardent. The hallways will also be carpeted in order to absorb sound, protect the wood floors, and give the area aesthetic appeal. The hallway and stairway carpeting will be cut in large pieces with as few sewn jointures as possible. This is contrary to the historic state of the rugs, for in the past these were numerous small rugs of both domestic and oriental design. However, small scatter rugs and runners can become a safety hazard, and this is to be avoided.

It must be noted too that many of the carpets which were in the house at the turn of the century were oriental. These cannot be reproduced because of cost and because they would not meet flame retardant standards required by law. As a result solid colored domestic rugs (which are flame retardant) have been selected for all the rooms and an oriental-inspired carpet has been chosen for the hall and stairway.

Since the rooms will be used as offices and house rather large, bulky, metal furniture, the floors (and walls) should be protected. To alleviate damage to walls by furniture being placed too close to them, a half-round, stained to match the floor, might be installed on the floor approximately two to three inches from the baseboard. As stated earlier, room-size rugs are recommended in all the rooms but in areas that will be left exposed, furniture coasters should be used. A porch runner should be maintained to ward off tracking dirt and mud into the house.

Heating

There is no central heat in the main body of the Rogers House. Due to the expense of central heating and the possible short-term tenancy of the University Christian Council, free standing gas heaters will be installed in the fireplaces of each main room and the downstairs hallway. These seven heaters will be vented through the fireplace chimneys.

A brochure, describing the stoves' specifications and operating procedures, is found on Appendix G.

Lighting

Light recommendations are made for the individual rooms and hallways, but several general statements are in order. Overhead chandeliers, like the one found in the parlor should be installed in both the study and the dining room. Indirect lighting for all the rooms, first and second floors, should be provided by various table and floor lamps. These lamps should be authentic reproductions or very close fascimiles. There are several lighting companies which specialize in reproductions and the costs are quite reasonable. Two such companies are listed below:

The Renovator's Supply, Inc.
Millers Falls, Massachusetts 01349
Phone: (413) 659-2211

Nowell's, Inc.
Gate Fine Road at Harbor Drive
Sausalito, CA 94966
Phone: (415) 332-4933

Both of these companies have catalogs available.

It would be good to keep in mind that table lamps should not exceed 36" in height (desk lamps should be lower) and the shades should be fairly simple. Also, there are lighting companies that specialize in replacement parts for such fixtures as the exterior porch light and the gas/electric lights on the second floor. The Renovator's Supply, Inc. is one, but there are others which may prove helpful too. The following companies are suggested because they offer restoration services:

Campbell Lamps
1108 Pottstown Pike Dept. OHJ
West Chester, PA 19380
Phone: (215) 696-8070

Old Lamplighter Shop
At the Musical Museum, Dept. OHJ
Deansboro, NY 13328
Phone: (315) 841-8774

Ball and Ball
463 W. Lincoln Highway
Exton, PA 19341
Phone: (215) 363-7330

Another consideration to bear in mind when choosing lighting fixtures is the atmosphere in which they were used in the early 1900's. At that time, lighting was used to supplement natural light, not supplant it as is the custom today. As a result, illumination was fairly low. This, of course, causes problems for the house interior that is to be used as an office. Good lighting is paramount and compromises will be necessary. We suggest that wherever possible 75 watt bulbs should be the maximum wattage used - unless a fixture dictates otherwise. One way to vary the light radiance is to install dimmer switches on all of the overhead fixtures, and this procedure is definitely recommended here.

Transient Objects

No original objects of use will be left in the house after it is occupied so a few suggestions are given. One item that would be useful and appropriate would be a brass Victorian era coat rack. (See page 42).

We recommend that pictures or other wall decorations be hung from picture moldings where present.

Plants can be used in the decorating scheme, but they should be kept at a minimum. The Rogers family never had a profusion of plants. The use of three or four plants would be an accurate recommendation for each floor. Plants to consider would be Boston ferns, spider plants, Areca Palms and other similar plants.

Windows

The following general statements concern window treatments. Specific recommendations regarding fabric, color, etc. will be made in later sections.

The large double-hung windows on the first and second floors should all have undercurtains and side drapes tied back with appropriate treatments. All windows on the first and second floors should have lace curtains while the two glass paned doors on the first floor and the storage room door on the second floor should have plain sheers. Side drapes for the first floor will be of finer material and patterns as compared to the second floor. It is necessary for all curtains and drapes be made flame retardant.

Window shades should be purchased for all windows except the two casement windows in the study which will be left unadorned. A shade which is green on the outside and white on the inside would be historically accurate. Unfortunately, this shade is not available commercially and a plain, ivory colored shade is recommended instead. This shade will cut out glare but still allow light to filter through.

Woodwork

The woodwork in this house is very handsome and in excellent condition. The woodwork in the parlor is painted to harmonize with other interior treatments and to give the room a more formal look, but this is the only room so painted. All of the other woodwork is shown with its natural grain. Outside of the dining room, all the woodwork is quartered oak. Rather elaborate carvings can be found on fireplace mantles and along the staircase. The dining room is wainscoted in mahogany which is also found in the fireplace mantle.

There are a few places where the woodwork is chipped, and these areas have been cited in later pages. Recommendations for the woodwork would simply be to clean and polish it with a product that does not cause a waxy buildup.

The Parlor

The parlor, traditionally the most elegant room in the house, demands more elaborate interior treatments than any of the other rooms except, perhaps, the dining room. The wallpaper which was on the walls at the time this report was written is documented in a folder at the end of this section. The large patterned motif of this paper encouraged the selection of a similar, modern wallpaper.

Because the parlor was the "show place" room, the woodwork was painted, to give it a more formal look. This is the only room in the house so painted. In addition to the baseboard and high ionic-pillared mantle, gilt-decorated ceiling molding is also present. These areas, including the interior face of the sliding doors, will be repainted to harmonize with the new wallpaper - a practice typical of the late Victorian period. The ceiling will also be repainted.

The room is lit by the original brass gas/electric chandelier. We recommend that this chandelier serve as the primary source of illumination with peripheral lighting being supplied by additional lamps. Recommendations and illustrations follow in succeeding pages.

There are three large windows in the parlor. Lace curtains are suggested with heavy, lined side drapes fastened with tasseled tie-backs. A window shade completes this interior treatment.

The floor is presently covered with a large room-size oriental rug. This rug cannot be retained because it is not flame retardant and it cannot be replaced

or reproduced because of cost. A solid colored room-size domestic rug is recommended on the following page.

Interior Treatment Recommendations - First Floor

- Parlor -

I. Wallpaper

Company & Book: Schumacher Victorian Collection, p. 108.
Pattern Name: Biltmore Foliate
Pattern # & Color: 3844-A, Document Pewter
Vertical Repeat: 20½"
Price: \$15.95 per roll

II. Paint

Ceiling

Company: Sherwin Williams
Color: Antique White
Type: flat

Woodwork

Company: Sherwin Williams
Color: Antique White
Type: enamel

III. Floor Coverings

Company: Philadelphia Carpets - Division of Shaw Industries, Inc.
Pattern: Uni-Tek 9700 51297
Color: 09750 Stone
Material: 100% Antron XL Filament Nylon
Number needed: 1 bound room-size rug
Price: \$20.50 per yard

IV. Window Treatment

Undercurtains

Company: E.C. Carter & Son, Inc.
Pattern: Lace Net
Color #: Ivory - 401030
Price: \$24.50 per yard
Number needed: 3 sets

Drapes

Company: Waverly, Decorative Fabrics, Division of Schumacher & Co.
Pattern: Etruscan Cloth
Color & #: Alabaster 331454
Price: \$12.95 per yard
Number needed: 2 sets

Tiebacks

Company: Bishop
Pattern: 8362
Color & #: Natural Bl
Price: approximately \$6.50 each
Number needed: 6

Shades

Company: Joanna
Style & Color: Sunchex - Ivory with crocheted pull
Number needed: 3

V. Lighting

Turn to Appendix D for some sample lamp types which could be used in the parlor to supplement the overhead chandelier.